

## **BOX GROVE– DESIGN GUIDELINES**

Version 03rd March 2021

### **VISION:**

Our development is committed to providing a boutique community, with covenants that will protect the investment of the purchaser.

The vision is to create a residential development that offers a contemporary style which reflects the surrounding neighbourhood whilst providing unique characteristics to streetscapes and homes. Box Grove will become a community comprising high quality streetscapes, safe neighbourhoods with high levels of liveability and ensuring that sustainable practices are carried through all development aspects.

All facades must in the opinion of the Design Review Panel (DRP) complement the desired design vision. We look forward to seeing your new home and trust you will enjoy your new lifestyle for many years to come at Box Grove.

The Design Guidelines' will expire 10 years after the Title Registration date of each stage. The Design Guidelines prohibits further subdivision of all allotments and no dual occupancy dwellings or relocatable homes are permitted within the estate. These are mandatory requirements and will not be waived under any circumstances.

### **DESIGN APPROVAL PROCESS & SUBMISSION:**

Before a Building Permit is issued, or construction works started, the design and siting of a proposed dwelling at Box Grove must be approved by the Design Review Panel. The DRP is appointed by the developer to oversee and implement the objectives of the Design Guidelines.

In addition to the Design Guidelines, a Memorandum of Common Provisions (MCP) will be registered on the Plan of Subdivision (POS) for your specific allotment. Building Envelopes have been defined for each allotment and you will find the one applicable to your allotment attached to your POS. The envelopes show the building setbacks concerning your allotment.

1. Design your home in accordance with the Box Grove Design Guidelines provided and relevant provisions of the Australian Building Standards. Your Building Permit can only be approved if you comply with these requirements.
2. Submit plans for approval with the following:
  - A siting plan of the home on the lot with dimensions and setbacks from all boundaries, proposed fencing and driveway location;
  - Floor plans that show the layout of the home (scaled) indicating all rooms, windows, external doors, external fixtures and nominated floor levels;
  - Full elevations indicating wall heights and all external finishes including garage door type;
  - Relevant cross sections showing roof pitches, eaves depth and height of walls along the boundaries;
  - A schedule with colour samples of all external finishes and materials or a colour photocopy in PDF format.
  - Front garden landscape plan.

Submissions can be emailed to [contactus@parklea.com](mailto:contactus@parklea.com) addressed to the Design Review Panel for Box Grove.

3. The DRP will assess the plans:
  - Providing all documents have been submitted and meet compliance, allow approximately 10 workdays for approval.

- Swimming pools do not require DAP approval and can encroach on the building setbacks.
- Please Note: The final decision of all aspects of the Design Guidelines is at the discretion of the DRP.

4. Once approval is provided, you or your builder can go ahead with obtaining necessary building permits to commence construction.

In the case of a conflict between these Design Guidelines and the relevant building codes/regulations, the Building Regulations and Planning Scheme objectives will prevail.

The DRP may from time to time, in its absolute discretion vary, relax or waive any of the requirements under these Design Guidelines. In the event DRP allows a variation, relaxation or waiver of the application of the Design Guidelines, this will not set a precedent nor imply any such action will apply again.

#### **DEFINITIONS:**

For the purposes of these guidelines:

- Public Realm is any land that is within the ownership of a public body, including Council and servicing authorities.
- Building Envelope Plan means the Building Envelope detailed on the Plan of Subdivision for a particular lot.
- A corner lot is any lot that has more than one boundary that abuts the public realm.
- Natural Ground Level is the finished surface level of the lot shown on the preliminary Engineering Plans, as may be amended from time to time.

#### **YOUR HOME**

It is important that your residence is sited on your property so that all homes and associated buildings achieve the overall desired outcomes for the estate.

#### **TIMING OF WORKS:**

Construction of all dwellings must commence within 36 months of settlement and must be completed within 12 months of their commencement.

Boundary fencing must be completed prior to the dwelling being occupied.

Landscaping of the front yard, including the nature strip, must be completed within 3 months of the Certificate of Occupancy being issued.

Driveways and internal window furnishings must be completed within 30 days of the Certificate of Occupancy being issued.

Should any rebate be noted in the Contract of Sale, fencing, driveways, landscaping and window furnishings must all be completed in accordance with the descriptions provided prior to disbursement.

#### **HOUSE SITE PLAN, SETBACKS AND LAYOUT:**

Only one dwelling may be built per lot, unless noted otherwise on the Building Envelope Plan.

The minimum size for each dwelling, measured at the external face of the external walls, and excluding garages and all unenclosed areas such as porticos, porches, verandahs, balconies, alfresco areas and the like, must be 225m<sup>2</sup> (~24.2 sq.)

All dwellings must be setback:

- From the street frontage by a minimum of 8m or as noted on the Building Envelope Plan.
- From the rear by at least 5m and at least 10m for lots fronting Goulburn River.
- Side setbacks are encouraged at 3m and 1m.
- A minimum of 2m from the title boundary where a lot has a sideage to a public realm.

**GARAGES:**

- Must be set back a minimum of 8m from the front boundary (primary street frontage) or a minimum of 0.5m behind the predominant front wall, whichever is greater.
- Lots must be capable of accommodating a minimum of two vehicles within a garage.
- Infill panels over garage doors are not permitted unless clearly in keeping with the architectural character of the home.
- Carports are not permitted where they are visible from the public realm, unless they are an extension of the garage and under the same roof line.
- Garages should not dominate the streetscape. For single storey dwellings, the width of a garage opening must not exceed 40% of the frontage width of an allotment and must not be greater than 6.5m.
- Triple car garages and dual garages on frontages of 18m or greater will be considered on their individual merits, generally the third garage must be set back an additional 500mm from the adjacent garage.
- Roller doors must not be used where they are visible from the public realm.

Exceptions to the front setbacks include:

- Porches, porticos, pergolas and verandahs by not more than 2.5m with a maximum height of less than 4.5m above natural ground level.
- Balconies and architectural features may encroach up to 1m.
- Eaves, fascia, gutter, sunblinds and shade sails.
- Screens referred to in regulation 4.19 of the Building Regulations.
- Decks, steps or landings.

Exceptions to the side and rear setback include:

- Porches and verandahs
- Masonry chimneys
- Sunblinds and screens
- Flues, pipes, domestic water tanks, heating and cooling equipment and other services

Refer to the Creation of Restriction (CoR) for other built form items that may encroach into the specified setback distances.

Pergolas and decking areas are permitted to encroach into these setbacks and will be considered on their individual merits by the DRP.

**BUILDING HEIGHT:**

- Dwelling height should not exceed 9 metres.

**OVERLOOKING:**

- The siting of your dwelling should take into consideration the impact of potential overlooking (Overlooking Zone) where adjacent lots have not been built upon.
- If a habitable room window falls within the overlooking zone, any part of the window that is more than 3.6m above natural ground level must not allow direct view to an adjoining lot. Treatment for obscuring must be permanent and translucent film will not be approved.
- Where a lot on an adjacent boundary has been built upon, the provisions of Part 4 Building Regulation shall apply to that boundary.
- Refer to the relevant Building Regulations for a full description.

**ORIENTATION:**

Proper orientation of your home will help manage climate conditions and contribute to the creation of favourable microclimates within the home. Proper orientation is environmentally responsible, can save you energy running costs and increase your enjoyment of your home.

Where permissible, the home design is encouraged to:

- Maximise the northern aspect of day time living areas and private open spaces (courtyards, patios etc) while sleeping and services spaces should be located to the south
- Avoid prolonged exposure and unwanted heat loading to living areas during hot summers
- Maximise natural light and solar access to living areas during cold winters

**SHADING:**

It is strongly encouraged to incorporate eaves to the perimeter of the building where practical to extend long enough to block out the summer sun but allow the winter sun to penetrate through the windows.

- Where permissible by the building regulations, pitched roofs must incorporate a minimum 450mm eave around the dwelling. Where this is not permissible, the extent of continuous eave is to be maximised as much as possible, in particular to the northern and western boundaries.
- At a minimum, eaves are required to all street frontages plus returns of 3m on each side of the dwelling. The eaves requirements do not apply to garage walls which are on boundary and exceptions may apply where they do not complement the architectural character of a home. They are an allowable encroachment into a setback as long as they don't encroach by more than 600mm.
- Double storey homes with a pitched roof must incorporate eaves to the entire upper level of the home.

**FAÇADE:**

The façade (front of your home) will determine the look and feel of your residence. If chosen and designed correctly, an attractive façade can give great value to your residence and will enhance the streetscape. The following items are required to be considered, or where applicable must be met as mandatory objectives.

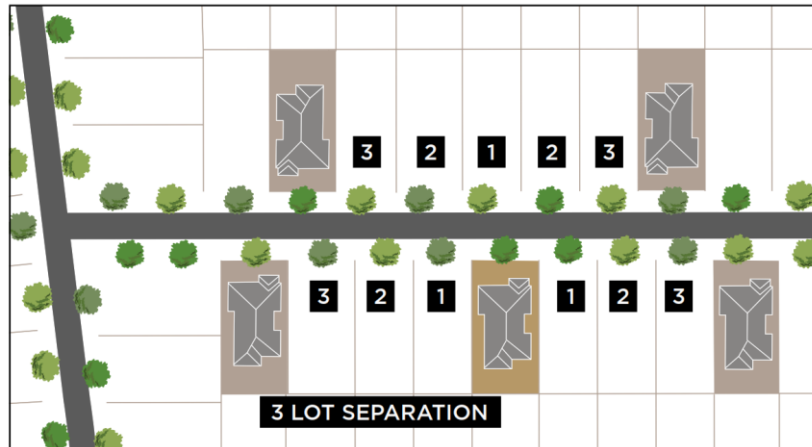
All homes must be created using high quality materials. This will provide for clean and contemporary character. Reproduction period style is not permitted, including but not limited to: Victorian, Georgian, Federation and Colonial. Homes must have contemporary architectural character.

The façade design of your residence must incorporate feature design elements such as articulation, feature brickwork, rendered sections, feature verandahs, porches, porticos and balconies to ensure the residence presents an appealing look from the street.

- Dwellings must be constructed from clay or masonry brick, painted weatherboard, rendered masonry block, rendered brick, rendered cement sheeting, or other material as agreed by DRP.
- It is encouraged to use feature windows and feature front doors to complement the façade design.
- Single material facades and over simplified forms will be rejected. Stock house design facades will not be approved.
- Heritage styling, including fretwork and arched or multi-panned windows are generally not permitted however will be considered by the DRP on merit and with relevance to the local context.
- All verandahs, porches, balconies and porticos should have a minimum depth of 1.0m and should have a minimum area of 3m<sup>2</sup>. The roof structure should tie in with and complement the design of the main roof structure.
- No light battens to be visible from the public realm

- Eaves are required to all street frontages plus returns of 3m on each side of the dwelling. The eaves requirements do not apply to garage walls which are on boundary and exceptions may apply where they do not complement the architectural character of a home. They are an allowable encroachment into a setback as long as they don't encroach by more than 600mm.
- A dwelling must avoid replicating an identical façade to another dwelling within 3 lots of each other.

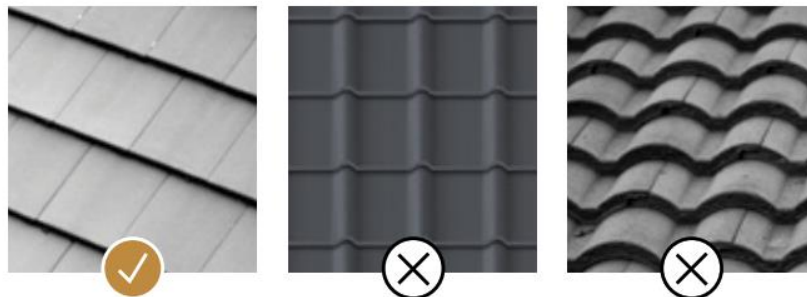
#### Façade Replication Guide



#### ROOF DESIGN:

Roof design and pitch play an important role in enhancing the look of your residence. It is important that when designing your residence that you consider the roof style and pitch to ensure it complements the style of your house.

- Pitched roofs are preferred, but flat and skillion roofs will be considered if they complement the architectural style of the dwelling. The use of raised porticos, gables, verandahs, dutch gables and balconies are also encouraged.
- Roof material must be **COLORBOND®** steel roofing or flat low profile tiles. Red tones are not permitted.



- Double storey homes with a pitched roof must incorporate eaves to the entire upper level of the home.
- Roof pitches should not be in excess of 45 degrees. We encourage a roof pitch to be 25 degrees or less to enhance the look and appeal of your new residence.
- Garage roof sections should tie in with and complement the main roof structure of the residence.
- Additional items that will be on the roof should not be positioned in view from the street where possible, for example, evaporative cooling units, TV aerials etc.

#### MATERIALS AND COLOURS:

- Infill panels over doors and windows are not permitted unless clearly in keeping with the architectural character of the home
- At least 2 different materials or colours must be used in the walls that address the public realm. Approved materials or finishes include, masonry and face brickwork, render or bagged finish, fibre

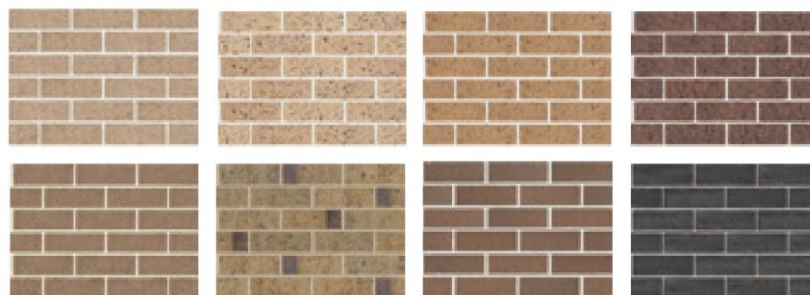
cement wall cladding, weatherboards, timber cladding and other materials at the discretion of the DRP.

- Mono-finish facades will be considered by the DRP on an individual basis.
- One material or colour should not account for more than 75% of the front facade (excluding windows, garages and openings). Exceptions can be made at the discretion of the DRP when slim line or other architecture elements are used.
- Colour schemes should adopt a palette of muted neutral tones. External finishes, materials and colours must be approved by the DRP. Whilst there are no mandatory colour requirements, an example of preferred **COLORBOND® steel** external natural muted colours is shown below. Bright or fluorescent colours will not be approved.



- Masonry colour selection palette provides an indication only of acceptable brick colours. Selections are not limited to these bricks, however red toned bricks are not recommended.

#### Example of Architectural Colour Palette



#### CORNER AND OPEN SPACE FRONTING ALLOTMENTS:

For lots which have 2 street frontages or which abut public open space, the proposed residence must address both streets and public open space. Side street façade treatments are an important part of creating an attractive streetscape and reducing hard fencing in the estate. It also assists in creating good surveillance and street/ public open space interaction with all residences.

The following guidelines apply to these corner and open space allotments:

- Feature windows to match the façade.
- A house must be designed to include elements of the front facade for at least 6m of the facade facing the side street/ public open space.
- It is essential that the dwelling addresses both street frontages/public open space with articulation of the built form including varying materials, window and door openings. It is important to provide an appropriate corner feature to your home that will 'turn the corner'.
- Blank walls on parts of your residence that can be viewed from front and side streets must be avoided. The following building elements could be incorporated into the design as a corner feature:
- Return pergolas, porticos, porches, verandas and balconies.

- Building materials from the façade to match the secondary frontage including any render and other decorative claddings.
- An articulated step out or setback, replicating the front portico.
- Roof elements such as feature gables.
- Where possible relocate meter box, HWS and other services away from street visibility.
- Garages must not be located on the corner section of the allotment facing 2 streets and must be located on or close to the side boundary that adjoins the neighbouring allotment.

### **BROADBAND (NBN)**

Box Grove is an NBN Fibre Connected Community. This means that all homes will have access to high speed broadband network. Visit <http://www.nbnco.com.au/> to obtain further information.

### **AROUND YOUR HOME**

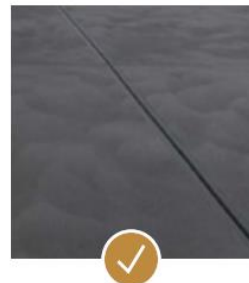
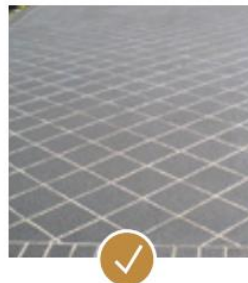
#### **PRIVATE OPEN SPACE:**

Private open space areas should be well integrated with internal living areas and take advantage of the northerly aspect. They should be designed for privacy from adjacent buildings and provide low maintenance open space areas that facilitate opportunities for recreational and social activities, passive amenity and landscaping.

#### **DRIVEWAY AND LANDSCAPE DESIGN:**

Driveway, path and landscape design are the finishing touches to your new residence and play an important role in creating a great looking home. Please refer to the following:

- Landscaping of the front yard, including the nature strip, must be completed within three (3) months of the Certificate of Occupancy being issued, unless this is during the summer period, in which case the garden must be installed by the 30th April of the new year.
- The driveway and paths must be constructed of either coloured concrete, exposed aggregate concrete or stencilled coloured concrete.



- Gravel or stone driveways and paths are generally not permitted if visible from the public realm however will be considered by the DRP on merit.
- A 500mm garden-planting strip between the driveway and a side boundary is required.
- Landscaping should be well designed to suite the style of the residence. The use of drought tolerant plants is encouraged.
- It is encouraged to use two mature canopy trees within the front garden design which will grow to around 4m, also implement features such as shrubs, ground cover, rocks, pebbles and tan bark. This will give a greener, softer, lush appeal to the streetscape and bring value and character to your home.
- Synthetic grass options and large areas of white pebbles are not permitted to the front landscaped areas.
- Retaining walls within 300mm of the front boundary and greater than 300mm in height, must gain approval prior to commencement of works. Any sleeper retaining walls or edges should be painted or stained.

Upon completion, front landscaping should feature:

- 2 mature canopy trees to be installed at a height of 2m or from a 45 litre minimum pot size. Tree shall have a minimum calliper of 25-30mm.
- 6 shrubs with a minimum pot size of no less than 200mm.
- 20 small shrubs with a minimum pot size of no less than 150 mm.
- Completion of fencing, driveway, nature strip and internal window furnishings.
- The front landscaping should incorporate architectural elements including (but not limited to) decorative retaining walls and paving, water features, art sculptures, feature decking and planter boxes. Sculptures and statues need to be approved by the DRP.

Landscaping plans not meeting these guidelines, but with architectural merit, may be considered for approval by the DRP at their discretion.

Letterboxes:

- Letterboxes must complement the dwelling in terms of materials, colour and style.
- Single post-supported letterboxes are not permitted.



#### FENCE DESIGN:

Fence design, location and setbacks are very important in creating a pleasant and appealing streetscape.

All fencing within the estate must meet the following guidelines:

- Side boundary fencing between properties should stop 5m minimum from the front title boundary. This uniform setback will create an open and soft looking streetscape and enhance the landscaping of the estate.
- On corner fences, posts should have pyramid finish to tops and finish 50-100mm above capping; railings should face into the property and not be visible from the street.
- Rural style fencing and front boundary fencing will be permitted at the discretion of the DRP.

#### GENERAL:

##### OUTBUILDINGS:

Any outbuilding **less than 10sqm** must be:

- Clad in a colour to complement the dwelling. **COLORBOND® steel** recommended colours include Monument, Wallaby, Woodland Grey and Windspray
- If located on a corner lot should be offset by a minimum of 2m from the secondary frontage to avoid being visually intrusive.

Any outbuilding **greater than 10sqm** must be:

- Approved by the Design Review Panel (DRP)
- Constructed after a Certificate of Occupancy has been issued on the dwelling or main residence.
- Constructed behind the dwelling line and not significantly visible from the public realm.
- Below 4m in height and less than 100sqm in area
- Constructed so that the external appearance matches the main dwelling in colours, materials and style. If **COLORBOND® steel**, recommended colours include Monument, Wallaby, Woodland Grey and Windspray



- If located on a corner lot should be offset by a minimum of 4m from the secondary frontage to avoid being visually intrusive.
- If located near an interlot boundary, should be offset by a minimum of 1m from the boundary line.

#### **ANCILLARY STRUCTURES AND SERVICE EQUIPMENT:**

Ancillary structures and service yards must be located so that they are not readily visible from the public realm. This include items such as:

- Rubbish bin storage areas.
- Washing lines
- Hot water systems
- Any water storage tanks
- Swimming pools
- Spa equipment
- External plumbing other than that for rain water
- Satellite dishes and TV aerials.

#### **PARKING OF VEHICLES:**

To ensure the safety and appeal of your new estate we request all residents to observe the rules below:

- All passenger vehicles should park in a designated parking area. This would include the driveway and garage of the residence and any designated street parking allocated within the estate.
- Any commercial vehicles (exceeding 1.5 tonnes), recreational vehicles, boats, trailers, caravans and campervans, horse floats and other vehicles must be located so they are not readily visible from the public realm when parked or stored.

#### **SIGNAGE AND ADVERTISING:**

Signage is not permitted on residential lots with the following exceptions:

- Display home signage with approval from the DRP.
- Builders or tradespersons identification (maximum 1.8m x 1.8m) required during dwelling construction. These signs must be removed within 10 days of the issue of the Certificate of Occupancy.
- One sign only advertising the sale of a complete dwelling is permitted. These signs must be removed within 10 days of the property being sold.
- There are to be strictly no signs erected for the purposes of advertising the sale of a vacant lot other than any sign that relates to the sale of such lot by the developer.
- Only one sign is to be installed per lot by a Real Estate Agency and it is to be no larger than 1.8m high x 1.2m wide.
- All other signs must be submitted to DRP for consideration. Protection of your investment is important, and to assist this we need to maintain the appeal of the estate.