

Date Issued: 4 January 2021

NOTICE OF AN APPLICATION FOR A PLANNING PERMIT

The land affected by the application is located at: **27 Bury Street, Euroa VIC 3666**

The application is for a Permit for: **Use and development of land for two (2) dwellings and a two (2) lot subdivision**

The applicant for the Permit is: **Land Management Surveys**

The application Reference Number is: **P2020-135**

You may view the application and any documents that support the application on our website at

<https://www.strathbogie.vic.gov.au/development/statutory-planning/planning-permits-currently-advertised>

or at the office of the Responsible Authority during office hours:

*Strathbogie Shire Council 109A Binney Street Euroa
Telephone: (03) 5795 0000*

Any person who may be affected by the granting of the Permit may object or make other submissions to the Responsible Authority.

An objection must be sent to the Responsible Authority in writing, include the reasons for the objection and state how the objector would be affected.

The Responsible Authority will not decide on the application before: 25 January 2021

All objections are placed on the relevant Planning Permit application file, which is publicly available at all times. Objections can therefore be read and used by other parties.

An objection form is available from Strathbogie Shire Council office, by phoning Council on (03) 5795 0000 or at <https://www.strathbogie.vic.gov.au/development/statutory-planning/objections>

If you submit an objection, the Responsible Authority will tell you of its final decision.

JG King Building Group Pty Ltd | jgkinghomes.com.au

Customer:
Site Address: Lot 1 27 Bury Street
Locality: EUROA (3666)
Home Design: Paradise 150 Kingston

Date: 08/12/2020
Estate: Private.
State: VIC
Consultant:

Incomplete Sub: Yes
Current Fencing: None
Ceiling Height: 2.4m
Site Coverage: 43.82%
Site Area: 342.46 m²
Build Area: 150.06 m²

Landscaping Notes

Paving:

Please ensure all paving around the home slopes away from the slab towards the boundaries.

Decking:

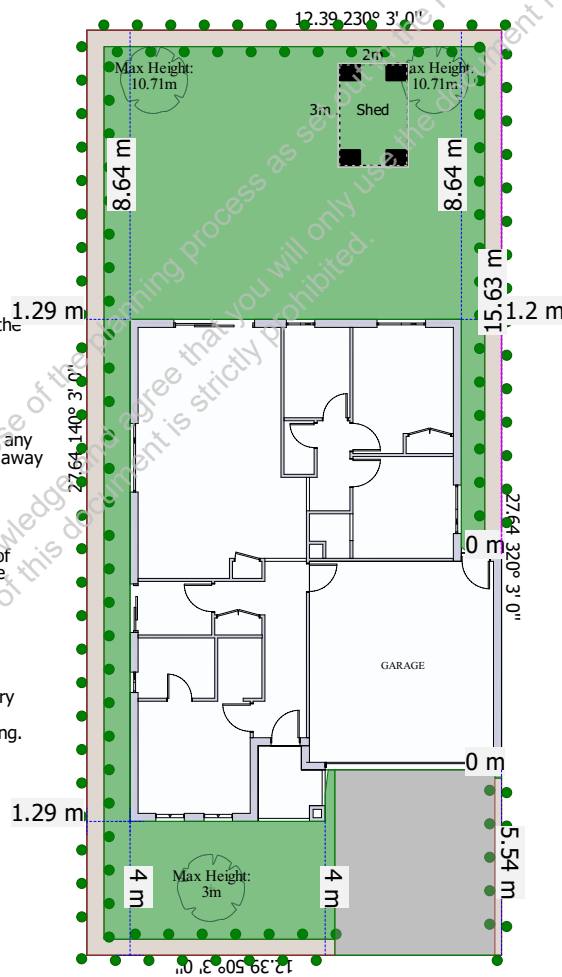
Ensure the ground surface under any decking around the home slopes away from the slab.

Trees:

Trees must not exceed a height of 1.5 times the distance of the tree from the slab.

Garden Beds:

Avoid garden beds next to the slab, garden beds on the boundary next to paved areas will be well irrigated by run-off from the paving.



Note: This is a preliminary siting and is subject to a clear copy of title and approval of the builder.
 This siting is subject to developer approval, state building regulations and council requirements (where applicable).

Scale: 1:226 @ A4

Customer Signature (1)

Date (1)

Customer Signature (2)

Date (2)

Proposed Siting of your JG King Home

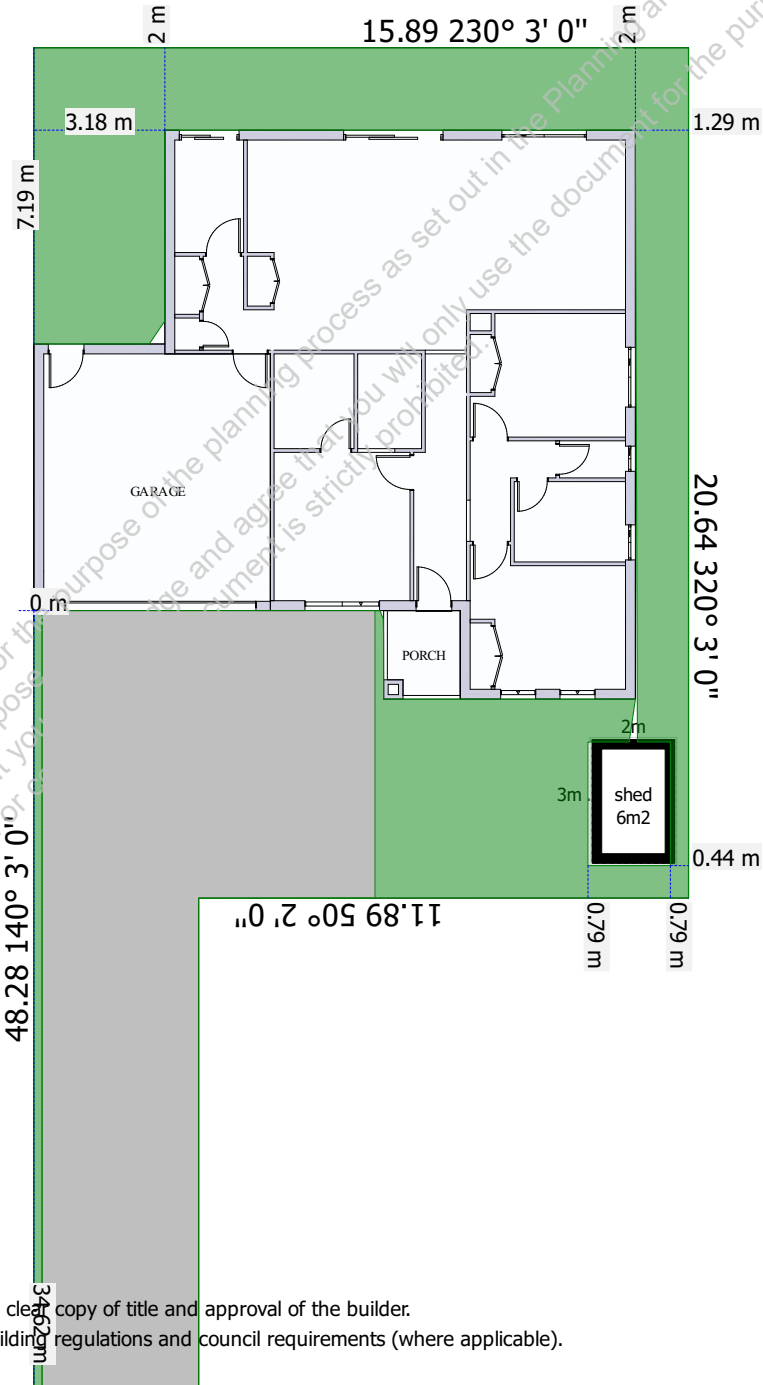


JG King Building Group Pty Ltd | jgkinghomes.com.au

Customer:
Site Address: Lot 2 Bury Street
Locality: EUROA (3666)
Home Design: Lagoon 167 Kingston

Date: 08/12/2020
Estate: Private
State: VIC
Consultant:

Incomplete Sub: Yes
Current Fencing: None
Ceiling Height: 2.4m
Site Coverage: 39.55%
Site Area: 438.51 m²
Build Area: 173.44 m²



Note: This is a preliminary siting and is subject to a clear copy of title and approval of the builder.
 This siting is subject to developer approval, state building regulations and council requirements (where applicable).

Scale: 1:183 @ A4

Customer Signature (1)

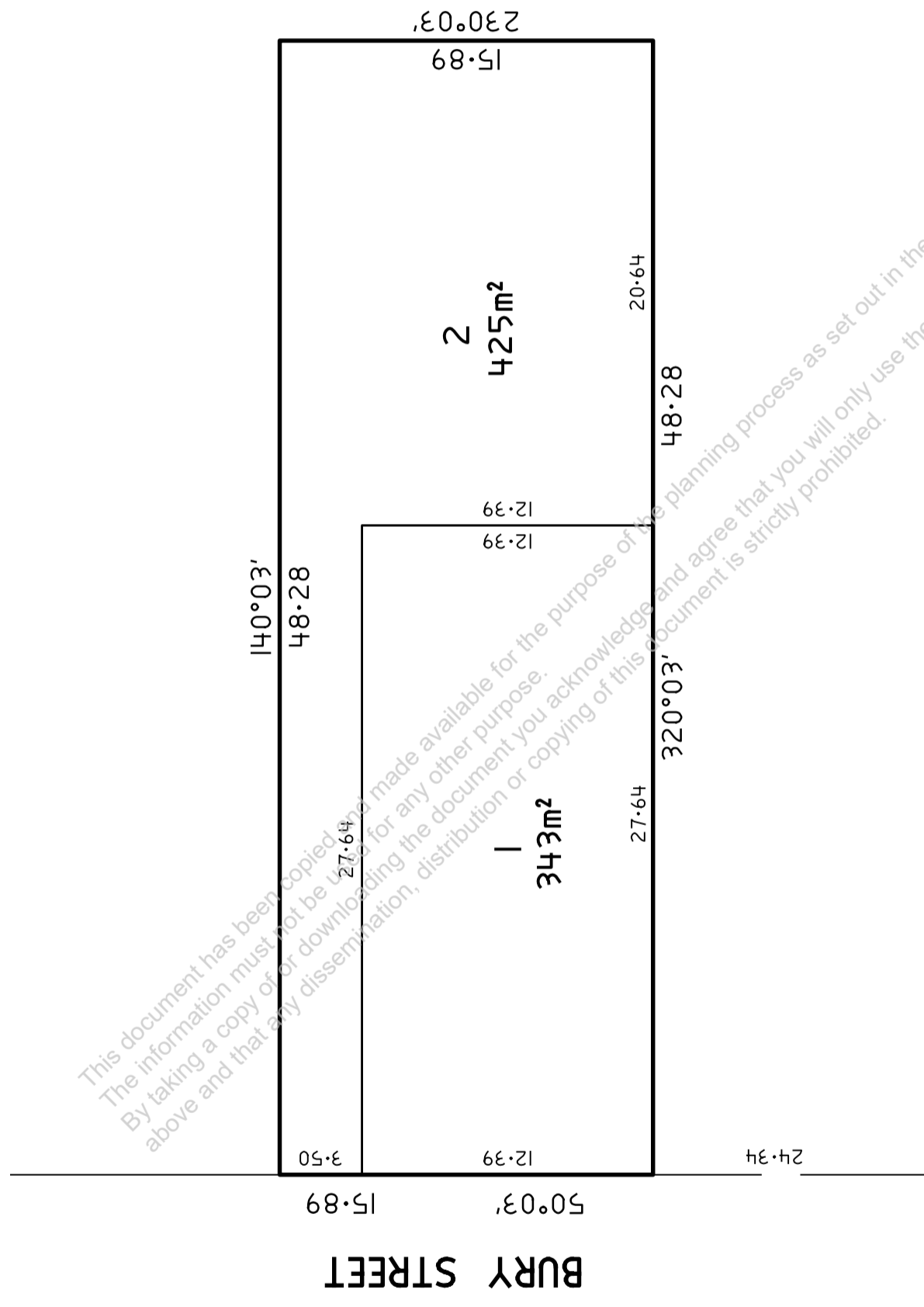
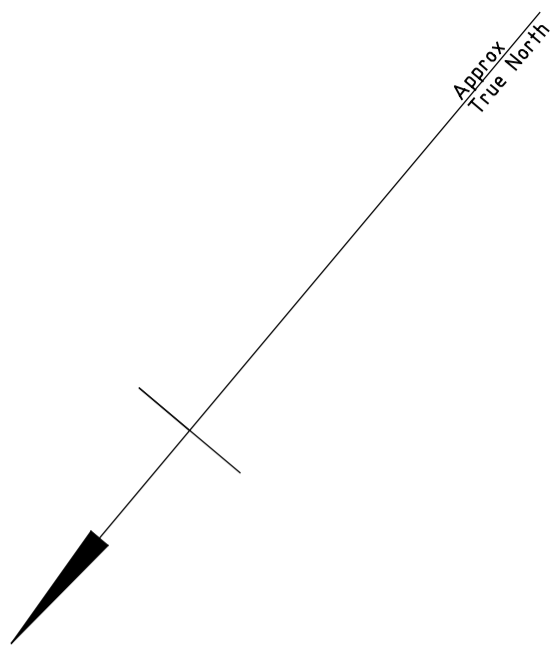
Date (1)

Customer Signature (2)

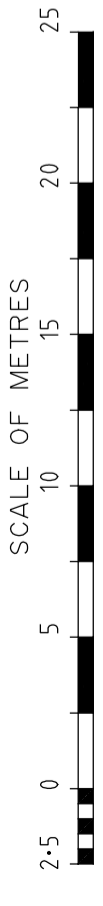
Date (2)

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(Geo Plan ID: 270017)



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5519 Proposed Plan of Subdivision V2.dgn

LAND MANAGEMENT SURVEYS (SHEPPARTON) P/L
 38 Wyndham Street, Shepparton (PO Box 416) Shepparton, Vic. 3632
 Tel (03) 5821 9600
 Email: shepparton.landman.com.au



SURVEYORS REF:
 5519

VERSION
 01

Sheet 1 of 1 Sheets

SCALE
 1:250

SHEET SIZE
 A3

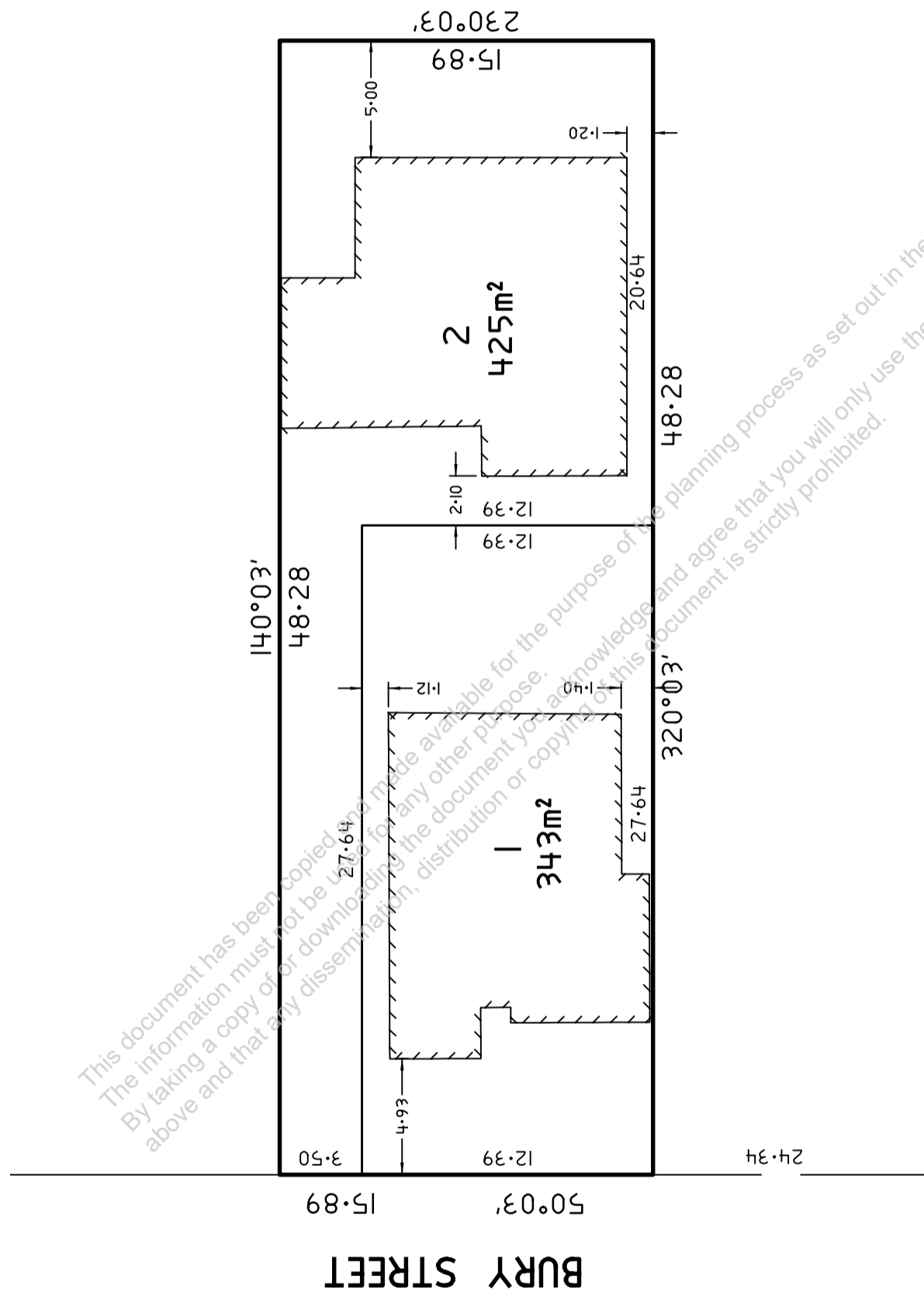
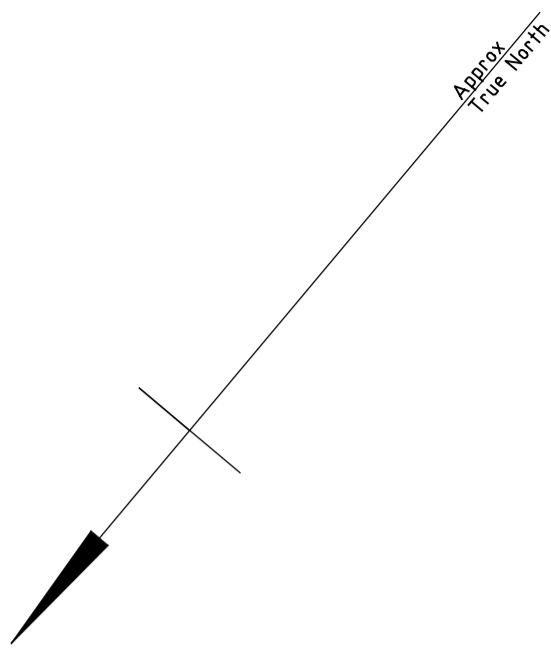
REF	DATE	APP'D
01	03/07/20	MT
	Original Issue	
	REVISION	

PROPOSED PLAN OF SUBDIVISION

COUNTY OF Delatite
 PARISH OF Euroa
 TOWNSHIP OF Euroa
 CROWN ALLOTMENT 1 & 2 (PTS)
 SECTION 51A
 TITLE VOL 6638 FOL 465
 LOT 1-2 TP226237

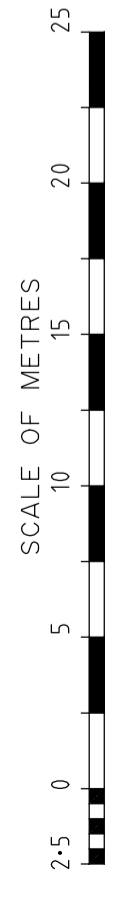
CLIENT:
 ADDRESS: 27 Bury Street
 Euroa Vic 3666

MEASUREMENTS AND AREAS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY. LENGTHS ARE IN METRES.



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LEWIS STREET



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PLAN • SURVEY • ENGINEER

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CLIENT:
 ADDRESS: 27 Bury Street
 Euroa Vic 3666

MEASUREMENTS AND AREAS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY. LENGTHS ARE IN METRES.

Planning Submission
27 Bury Street Euroa

Two Lot Subdivision

27 Bury Street Euroa

Council Property Number: 11800050.0000

Submission to Strathbogie Shire Council

Prepared by Land Management Surveys Shepparton

September 2020



1 Introduction

This report has been prepared in support of a planning permit application seeking approval to subdivide lots 1 and 2 TP226237U 27 Bury Street Euroa into two allotments.

The subject land is located within the General Residential Zone (GRZ1) and is not affected by any overlays.

This report addresses:

- The site context
- The proposal
- The relevant planning policy content and planning scheme provisions.

The following documents must be read in conjunction with this report and are provided as part of the application:

- Proposed Plan of Subdivision

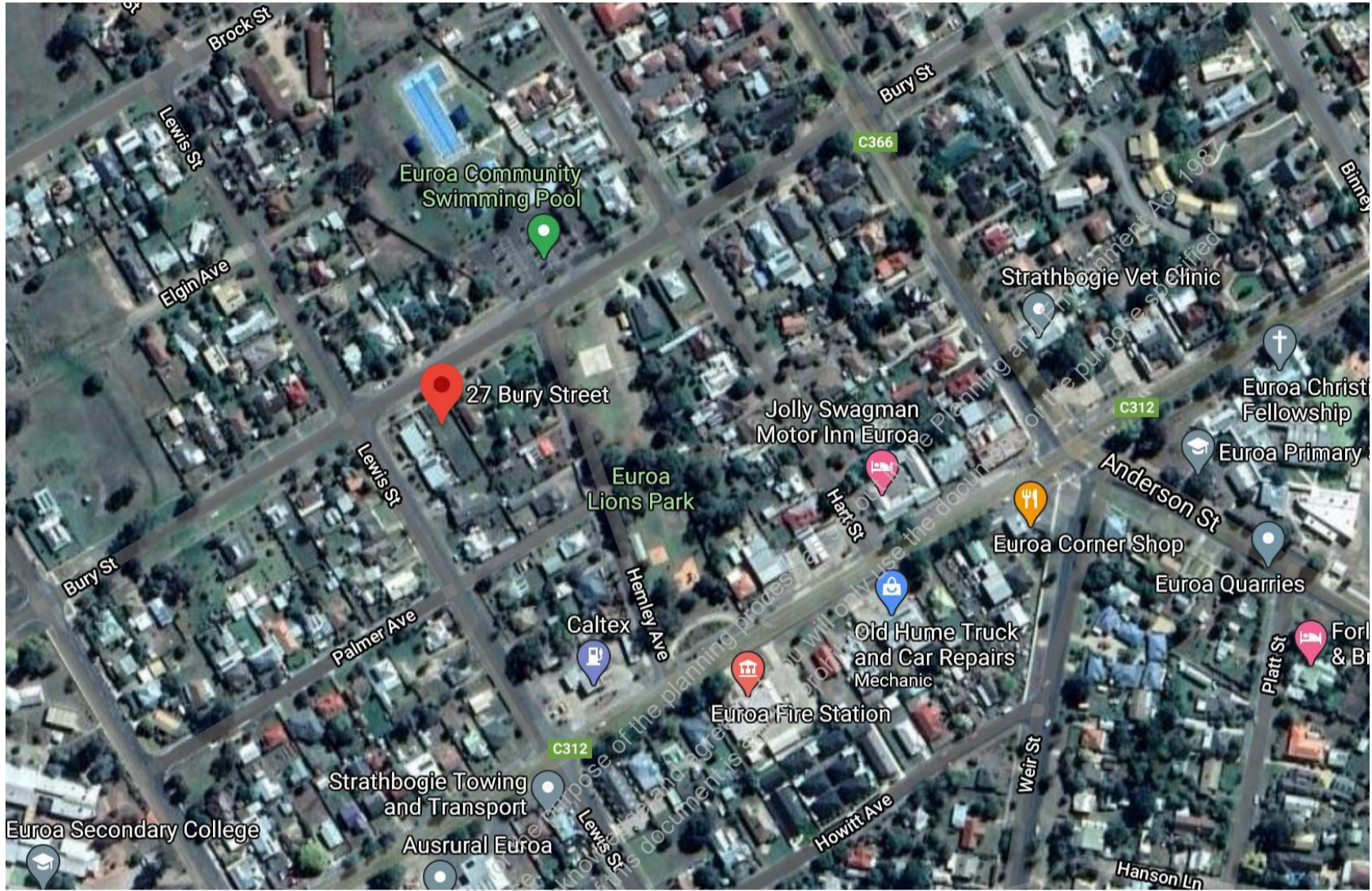
2 Planning Permit Triggers

The need for a planning permit is triggered by Clause 32.08-3 (GRZ) a permit is required to subdivide land.

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3 Site and Context Description

Site Locality



Subject Site

The property is a rectangular allotment measuring approximately 768sqm in size. It has a frontage to Bury Street of approximately 16m.

The site is relatively flat and is vacant.

Electricity, water and reticulated sewer is available to the site.

The site is located within an established residential area.

Adjacent sites are all developed for residential use.

There are no easements, restrictions or covenants affecting the land.

Photos



Existing access to subject site



Dwelling South West of subject site



Dwelling over Bury St viewed to the North West



Dwelling North East of subject site



Bury St to the South West



Subject site at 27 Bury Street, Euroa



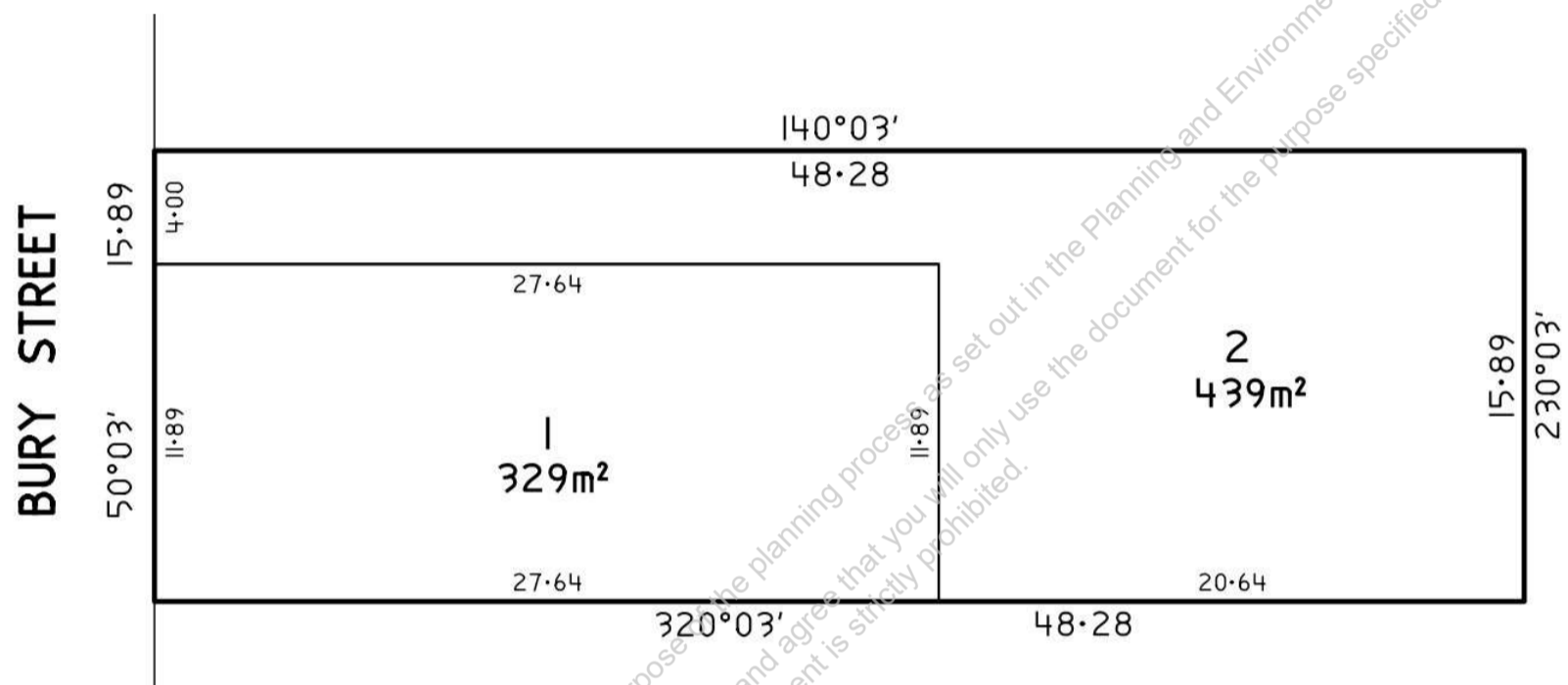
Bury St to the North East

4 The Proposal

The proposal is to subdivide the subject property into two lots in accordance with the attached plan of subdivision.

The subdivision is proposed as follows:

- Lot 1- 329 sqm
- Lot 2- 439 sqm



5 Relevant Provisions of the Planning Scheme

The following provides an analysis of the proposals consistency with State and Local planning policies, zone and overlay provisions.

State Planning Policy

In addition to ensuring development respects existing neighbourhood character, it is also an objective of State Planning Policy to encourage the opportunity for increased densities to help consolidate urban areas and make better use of existing infrastructure.

The State Planning Policy specifies that amongst other matters, the consolidation of residential activities is encouraged within existing urban areas, particularly those with convenient access to a range of physical and community infrastructure.

The subject site is conveniently located with regard to a range of physical and community infrastructure, and is therefore appropriate for subdivision.

Clause 11.01-1S – Settlement

This policy encourages the development of compact urban areas that are based around existing or planned activity centres to maximise accessibility to facilities and services. As well as limiting urban sprawl and direct growth into existing settlements.

The proposal is consistent with the implementation of this policy as the subject land is located within the township of Euroa and will contribute to the appropriate consolidation of the existing urban area.

Clause 16- Housing

These policies promote consolidation of urban development and integration of land use and transport as well as locating new housing in designated locations that offer good access to jobs, services and transport.

The proposal is consistent with the implementation of this policy as the subject land is within an existing residential area within walking distance to the town centre.

Local Planning Policy

21.03 Local Areas

21.03-2- Euroa

It is expected that Euroa will grow, therefore it is fundamental that the Plan is structured to ensure that the township of Euroa continues to provide for the needs of its residents, surrounding rural areas and visitors, whilst coping with, and capitalising on, the opportunities presented by growth and development.

Relevant parts of the policy to the proposal:

- To maintain and enhance the Euroa “Village” character through strengthening its compact central area, the strong presence of services and the attractive historic buildings and streetscapes.

Zoning

GRZ1

The purpose of the zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

The proposed subdivision fits within the existing pattern of subdivision in the area and it respects the neighbourhood character. This development could assist in providing a diversity of housing types in an appropriate location that is within walking distance to parks and shops therefore the proposal is in accordance with the purpose of the zone.

Clause 56 Residential Subdivision

Clause 32.08-3 of the Strathbogie Planning Scheme stipulates an application to subdivide land must meet the relevant requirements of Clause 56 of the scheme.

The following response is provided in regards to these requirements.

Objective	Comment
<p>56.03-5 Neighbourhood character</p> <ul style="list-style-type: none"> To design subdivisions that respond to neighbourhood character. 	<p>The site is not located within a neighbourhood character overlay nor is the area identified within a local residential character planning policy. There are other existing lots in the area which are of a similar size to the proposed lots.</p>
<p>56.04-1 Lot diversity and distribution objectives</p> <ul style="list-style-type: none"> To achieve housing densities that support compact and walkable neighbourhoods and the efficient provision of public transport services. To provide higher housing densities within walking distance of activity centres. To achieve increased housing densities in designated growth areas. To provide a range of lot sizes to suit a variety of dwelling and household types. 	<p>The site is located in an area where walking to local facilities and activity centres is very achievable. The town centre is within walking distance. It is a 10 minute walk to the local IGA.</p> <p>The proposed smaller lot sizing would provide for a greater variety of housing choice in the town.</p>
<p>56.04-2 Lot area and building envelopes objective</p> <ul style="list-style-type: none"> To provide lots with areas and dimensions that enable the appropriate siting and construction of a dwelling, solar access, private open space, vehicle access and 	<p>The proposed Lot allows for appropriate siting of a new dwelling without the need for planning approval. There is no significant vegetation present on the property.</p>

<p>parking, water management, easements and the retention of significant vegetation and site features.</p>	
<p>56.04-3 Solar orientation of lots objective</p> <ul style="list-style-type: none"> To provide good solar orientation of lots and solar access for future dwellings. 	<p>The proposed new lots are large enough to site new dwellings that could have access to good solar orientation as they face a north westerly direction.</p>
<p>56.04-4 Street orientation objective</p> <ul style="list-style-type: none"> To provide a lot layout that contributes to community social interaction, personal safety and property security. 	<p>There is no new Streets or common property proposed.</p>
<p>56.04-5 Common area objectives</p> <ul style="list-style-type: none"> To identify common areas and the purpose for which the area is commonly held. To ensure the provision of common area is appropriate and that necessary management arrangements are in place. To maintain direct public access throughout the neighbourhood street network. 	<p>No common property is proposed as part of this subdivision.</p>
<p>56.05-1 Integrated urban landscape objectives</p> <ul style="list-style-type: none"> To provide attractive and continuous landscaping in streets and public open spaces that contribute to the character and identity of new neighbourhoods and urban places or to existing or preferred 	<p>There will be no changes to the existing nature strips. Native habitats will not be affected. There is no opportunity to recycle or save water in this proposal.</p>

<p>neighbourhood character in existing urban areas.</p> <ul style="list-style-type: none"> • To incorporate natural and cultural features in the design of streets and public open space where appropriate. • To protect and enhance native habitat and discourage the planting and spread of noxious weeds. • To provide for integrated water management systems and contribute to drinking water conservation. 	
<p>56.06-2 Walking and cycling network objectives</p> <ul style="list-style-type: none"> • To contribute to community health and wellbeing by encouraging walking and cycling as part of the daily lives of residents, employees and visitors. • To provide safe and direct movement through and between neighbourhoods by pedestrians and cyclists. • To reduce car use, greenhouse gas emissions and air pollution. 	<p>As stated above there are activity centres, parks, the creek and community facilities within walking and cycling distance meaning that potential future residents to the site will have every opportunity to reduce car usage.</p>
<p>56.06-4 Neighbourhood street network objective</p> <ul style="list-style-type: none"> • To provide for direct, safe and easy movement through and between neighbourhoods for pedestrians, cyclists, public transport and other motor vehicles using the neighbourhood street network. 	<p>There are no new streets or footpaths proposed.</p>

<p>56.06-5 Walking and cycling network detail objectives</p> <ul style="list-style-type: none"> To design and construct footpaths, shared path and cycle path networks that are safe, comfortable, well constructed and accessible for people with disabilities. To design footpaths to accommodate wheelchairs, prams, scooters and other footpath bound vehicles. 	<p>There are no new footpaths proposed.</p>
<p>56.06-7 Neighbourhood street network detail objective</p> <ul style="list-style-type: none"> To design and construct street carriageways and verges so that the street geometry and traffic speeds provide an accessible and safe neighbourhood street system for all users. 	<p>There are no new streets proposed.</p>
<p>56.06-8 Lot access objective</p> <ul style="list-style-type: none"> To provide for safe vehicle access between roads and lots. 	<p>The existing crossover can be utilised for the rear lot.</p>
<p>56.07-1 Drinking water supply objectives</p> <ul style="list-style-type: none"> To reduce the use of drinking water. To provide an adequate, cost effective supply of drinking water. 	<p>Goulburn Valley Water is the responsible authority for the provision of potable water infrastructure. Connection works will be in accordance with the relevant authority's standards and conditions.</p>
<p>56.07-2 Reused and recycled water objective</p> <ul style="list-style-type: none"> To provide for the substitution of drinking water for nondrinking purposes with reused and recycled water. 	<p>No secondary reticulated water (recycled) supply is available to this site.</p>
<p>56.07-3 Waste water management objective</p>	<p>The proposed allotment will be connected to the reticulated sewerage system as required by Goulburn Valley Water.</p>

<ul style="list-style-type: none"> To provide a waste water system that is adequate for the maintenance of public health and the management of effluent in an environmentally friendly manner. 	
<p>56.07-4 Urban run-off management objectives</p> <ul style="list-style-type: none"> To minimise damage to properties and inconvenience to residents from urban runoff. To ensure that the street operates adequately during major storm events and provides for public safety. To minimise increases in stormwater run-off and protect the environmental values and physical characteristics of receiving waters from degradation by urban run-off. 	<p>Stormwater run-off from the development will be directed to the legal point of discharge to the satisfaction of the responsible authority.</p>
<p>56.08-1 Site management objectives</p> <ul style="list-style-type: none"> To protect drainage infrastructure and receiving waters from sedimentation and contamination. To protect the site and surrounding area from environmental degradation or nuisance prior to and during construction of subdivision works. To encourage the re-use of materials from the site and recycled materials in the construction of subdivisions where practical. 	<p>Best practice environmental management will be implemented during the subdivision construction.</p> <p>The site will be managed during the construction phase in accordance with Council's requirements.</p> <p>Management measures on the site during construction works required for the subdivision should include sediment barriers and traps, placement of stockpiles and earthworks and limitation of the number of access points.</p>

<p>55.09-1 Shared trenching objectives</p> <ul style="list-style-type: none"> To maximise the opportunities for shared trenching. To minimise constraints on landscaping within street reserves. 	<p>Services will be designed and constructed to link in with existing facilities. Reticulated water, sewerage, electricity, telecommunication and telephone services will be connected to the newly created allotment to the satisfaction of the relevant authorities and shared trenching will be utilised where appropriate.</p>
<p>56.09-2 Electricity, telecommunications and gas objectives</p> <ul style="list-style-type: none"> To provide public utilities to each lot in a timely, efficient and cost effective manner. To reduce greenhouse gas emissions by supporting generation and use of electricity from renewable sources. 	<p>The proposed new allotment will be connected to the urban electricity grid and telecommunications network. These connections will be from existing infrastructure in proximity to the site, and to the satisfaction of the service providers.</p>
<p>56.09-3 Fire hydrants objective</p> <ul style="list-style-type: none"> To provide fire hydrants and fire plugs in positions that enable fire fighters to access water safely, effectively and efficiently. 	<p>N/A</p>
<p>56.09-4 Public lighting objective</p> <ul style="list-style-type: none"> To provide public lighting to ensure the safety of pedestrians, cyclists and vehicles. To provide pedestrians with a sense of personal safety at night. To contribute to reducing greenhouse gas emissions and to saving energy. 	<p>N/A</p>

6 Conclusion

It is considered that the proposal is consistent with the provisions of both State and Local policies of the Strathbogie Planning Scheme.

Planning Submission
27 Bury Street Euroa

The subject site is easily serviced with minimal impact on existing infrastructure, and provides for consolidation within a residential area which has good access to recreational areas and the township.

The applicant seeks approval of this two lot subdivision application.

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Clause 55 Assessment – Two or More Dwellings on a Lot and Residential Buildings – 27 Bury Street Euroa

Neighbourhood Character & Infrastructure

Clause 55.02-1 to 02-5

Objective	Standard (Summarised)	Complies / Does Not Comply / Variation Required
<p>B1 Neighbourhood Character To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.</p> <p>To ensure that development responds to the features of the site and the surrounding area.</p>	<p>The design response must be appropriate to the neighbourhood and the site</p>	<p>It is submitted that the proposed design response is appropriate and will contribute to the diversity of dwelling styles that are currently present in the area and which form the existing neighbourhood character.</p> <p>Complies</p>
	<p>The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.</p>	<p>Proposed dwelling on lot 1 has a setback of 4m, the neighbouring dwelling facing the same street has a 10m setback. Due to the lot sizing proposed a smaller setback is required.</p> <p>Variation required</p>

Objective	Standard (Summarised)	Complies / Does Not Comply / Variation Required
<p>B2 Residential Policy To ensure that residential development is provided in accordance with any policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.</p> <p>To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.</p>	<p>An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.</p>	<p>It is submitted that the proposed two dwelling residential development is in accordance with the relevant policies for housing contained under both the State Planning Policy Framework and the Local Planning Policy Framework, which has been outlined in the planning submission.</p> <p>In summary, these are the main points:</p> <ul style="list-style-type: none"> • The proposed development is supported by State and local planning policy which encourages the consolidation, redevelopment and intensification of existing urban areas. • The development does not involve the removal of native vegetation. <p>Complies</p>
<p>B3 Dwelling Diversity To encourage a range of dwelling sizes and types in developments of ten or more dwellings.</p>	<p>Developments of ten or more dwellings should provide a range of dwelling sizes and types, including:</p> <ul style="list-style-type: none"> ▪ Dwellings with a different number of bedrooms. ▪ At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level. 	<p>This particular objective only applies to developments of ten or more dwellings.</p> <p>N/A</p>

Objective	Standard (Summarised)	Complies / Does Not Comply / Variation Required
<p>B4 Infrastructure To ensure development is provided with appropriate utility services and infrastructure.</p> <p>To ensure development does not unreasonably overload the capacity of utility services and infrastructure.</p>	<p>Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available.</p>	<p>It is submitted that the subject land is appropriately serviced to ensure that the proposed two dwelling development is provided with appropriate utility services and infrastructure.</p> <p>Complies</p>
	<p>Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.</p>	<p>It is unlikely that a two dwelling development within this established area, could unreasonably overload the capacity of utility services and infrastructure.</p> <p>Complies</p>
	<p>In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure.</p>	<p>N/A</p>
<p>B5 Integration with the Street To integrate the layout of development with the street.</p>	<p>Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility.</p>	<p>The proposed dwellings provide for adequate vehicle and pedestrian links that maintain and enhance local accessibility.</p> <p>Complies</p>
	<p>Development should be oriented to front existing and proposed streets.</p>	<p>The two dwellings have been oriented to have front entry doors and windows being orientated toward the street frontage.</p> <p>Complies</p>
	<p>High fencing in front of dwellings should be avoided if practicable.</p>	<p>No front fencing is proposed.</p> <p>Complies</p>
	<p>Development next to existing public open space should be laid out to complement the open space.</p>	<p>N/A</p>

Title & Objective	Standard			Complies / Does Not Comply / Variation Required
<p>B6 Street Setback To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.</p>	<p>Walls of buildings should be set back from streets:</p> <p>At least the distance specified in a schedule to the zone, or</p> <p>If no distance is specified, the distance in Table B1.</p> <p><i>Porches, pergolas and verandahs that are less than 3.6m high and eaves may encroach not more than 2.5m into the setbacks of this standard</i></p>			<p>The front setback of the two dwellings will satisfy the objective to be respectful of the existing neighbourhood character however the required setback distance is 9m and the dwelling on lot 1 is proposed at 4m. Due to the lot sizing a variation is sought.</p> <p>Variation required</p>
<p>Table B1 Development context There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.</p>	<p>Minimum setback from front street (meters) The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.</p>	<p>Minimum setback from side street (meters) N/A</p>		

Title & Objective	Standard			Complies / Does Not Comply / Variation Required
	There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.	The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.	N/A	
<p>B7 Building Height To ensure that the height of buildings respects the existing or preferred neighbourhood character.</p>	<p>The maximum building height should not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land.</p> <p>If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres.</p> <p>Changes of building height between existing buildings and new buildings should be graduated.</p>			<p>The building height of the proposed single storey units is less than 9m. This height is considered to be respectful of this area.</p> <p>Complies</p>
	Changes of building height between existing buildings and new buildings should be graduated.			N/A

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p>B8 Site Coverage To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.</p>	<p>The maximum site coverage specified in a schedule to the zone, or</p> <p>If no maximum site coverage is specified in a schedule, 60%.</p>	<p>Lot 1 = 43.8% site coverage complies</p> <p>Lot 2 = 38.1% site coverage complies</p> <p>Total site coverage complies</p>
<p>B9 Permeability To reduce the impact of increased stormwater run-off on the drainage system.</p> <p>To facilitate on-site stormwater infiltration.</p>	<p>The minimum area specified in a schedule to the zone, or</p> <p>If no minimum is specified in a schedule to the zone, at least 20% of the site.</p>	<p>The proposal complies with the Standard as more than 20% of the site will not be covered by impervious surfaces.</p> <p>Complies</p>
<p>B10 Energy Efficiency To achieve and protect energy efficient dwellings and residential buildings.</p> <p>To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</p>	<p>Buildings should be:</p> <ul style="list-style-type: none"> ▪ Oriented to make appropriate use of solar energy. ▪ Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. 	<p>It is submitted that Standard B10 has been satisfied as the proposed dwellings have been orientated to make appropriate use of solar energy. Both dwellings face north towards Bury Street and have windows to this direction.</p> <p>The proposal will need to achieve a 6-star energy rating at the building stage.</p> <p>Complies</p>

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
	<p>Living areas and private open space should be located on the north side of the development, if practicable.</p> <p>Developments should be designed so that solar access to north-facing windows is maximised.</p>	<p>Lot 1 living area faces north east and has a window on this elevation.</p> <p>Lot 2 living area is to the rear meaning it is not practical to face north.</p> <p>Variation required</p> <p>Complies</p>
<p>B11 Open Space To integrate the layout of development with any public and communal open space provided in or adjacent to the development.</p>	<p>If any public or communal open space is provided on site, it should:</p> <ul style="list-style-type: none"> ▪ Be substantially fronted by dwellings, where appropriate. ▪ Provide outlook for as many dwellings as practicable. ▪ Be designed to protect any natural features on the site. ▪ Be accessible and usable. 	<p>There is no public or communal open space as part of the proposal.</p> <p>N/A</p>
<p>B12 Safety To ensure the layout of development provides for the safety and security of residents and property.</p>	<p>Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways.</p> <p>Planting which creates unsafe spaces along streets and accessways should be avoided.</p> <p>Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways.</p> <p>Private spaces within developments should be protected from inappropriate use as public thoroughfares.</p>	<p>The dwelling entrances are clearly visible from the street.</p> <p>Complies</p> <p>Complies</p> <p>Complies</p> <p>N/A</p>

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p>B13 Landscaping To encourage development that respects the landscape character of the neighbourhood.</p> <p>To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.</p> <p>To provide appropriate landscaping.</p> <p>To encourage the retention of mature vegetation on the site.</p>	<p>The landscape layout and design should:</p> <ul style="list-style-type: none"> ▪ Protect any predominant landscape features of the neighbourhood. ▪ Take into account the soil type and drainage patterns of the site. ▪ Allow for intended vegetation growth and structural protection of buildings. ▪ In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals. ▪ Provide a safe, attractive and functional environment for residents. 	<p>A landscaping plan has been provided to ensure that the proposal respects the landscape character of the neighbourhood.</p> <p>Complies</p>
	<p>Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood.</p> <p>Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.</p>	<p>There is no vegetation existing currently on the site. Lot 1 proposes planting of trees to fit within the neighbourhood garden feel.</p> <p>Complies</p>
	<p>The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.</p> <p>Development should meet any additional landscape requirements specified in a schedule to the zone.</p>	<p>Permit conditions can be imposed by the responsible Authority to ensure compliance with Standard B13.</p>
<p>B14 Access To ensure the number and design of vehicle crossovers respects the neighbourhood character.</p>	<p>The width of accessways or car spaces should not exceed:</p> <ul style="list-style-type: none"> ▪ 33% of the street frontage; or ▪ If the width of the street frontage is less than 20 metres, 40% of the street frontage. 	<p>The width of the driveways will not exceed 40% of the street frontage.</p> <p>Complies</p>
	<p>No more than one single-width crossover should be provided for each dwelling fronting a street.</p>	<p>There will only be a single-width crossover to each dwelling.</p> <p>Complies</p>

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
	The location of crossovers should maximise the retention of on-street car parking spaces.	N/A
	The number of access points to a road in a Road Zone should be minimised.	N/A
	Developments must provide for access for service, emergency and delivery vehicles.	N/A
<p>B15 Parking Location To provide convenient parking for resident and visitor vehicles.</p> <p>To protect residents from vehicular noise within developments.</p>	<p>Car parking facilities should:</p> <ul style="list-style-type: none"> ▪ Be reasonably close and convenient to dwellings and residential buildings. ▪ Be secure. ▪ Be well ventilated if enclosed. <p>Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.</p>	<p>One garage is provided under roof to each proposed dwelling.</p> <p>Complies</p> <p>Lot 1 dwelling is located 1.29m from the side boundary with lot 2 driveway. A side fence can be provided to comply.</p>

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p>B17 Side and Rear Setbacks To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p>	<p>A new building not on or within 200mm of a boundary should be set back from side or rear boundaries:</p> <p>At least the distance specified in a schedule to the zone, or</p> <ul style="list-style-type: none"> ▪ 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. <p>Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.</p> <p>Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.</p>	<p>The side of the dwellings are setback 1m from the boundaries apart from the garage walls of both which are proposed on the boundaries.</p> <p>Complies</p>

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p>B18 Walls on Boundaries To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p>	<p>A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the lot boundary:</p> <ul style="list-style-type: none"> ▪ For a length of more than the distance specified in a schedule to the zone; or ▪ If no distance is specified in a schedule to the zone, for a length of more than: ▪ 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining ▪ lot, or ▪ Where the existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, ▪ whichever is the greater. <p>A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary.</p> <p>A building on a boundary includes a building set back up to 200mm from a boundary.</p> <p>The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>	<p>Walls proposed to be constructed on the boundary are less than 10m long.</p> <p>Complies</p>

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p>B19 Daylight to Existing Windows To allow adequate daylight into existing habitable room windows.</p>	<p>Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.</p>	<p>The proposed buildings will not affect the daylight into existing windows.</p> <p>Complies</p>
	<p>Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p> <p>Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.</p>	<p>Complies</p>
<p>B20 North Facing Windows To allow adequate solar access to existing north-facing habitable room windows.</p>	<p>If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west north 30 degrees east.</p>	<p>There are no dwellings within 3m on adjoining lots.</p> <p>Complies</p>
<p>B21 Overshadowing Open Space To ensure buildings do not significantly overshadow existing secluded private open space.</p>	<p>Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September.</p> <p>If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.</p>	<p>A overshadowing plan has not been created.</p> <p>Unknown</p>

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p>B22 Overlooking To limit views into existing secluded private open space and habitable room windows.</p>	<p>A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the <u>secluded private open space</u> or <u>habitable room window</u> of an existing dwelling (horizontal 9m rule and from a height of 1.7m above ffl).</p> <p>A habitable room window, balcony, terrace, deck or patio with a direct view should be either:</p> <ul style="list-style-type: none"> ▪ Offset a minimum of 1.5 metres from the edge of one window to the edge of the other. ▪ Have sill heights of at least 1.7 metres above floor level. ▪ Have fixed, obscure glazing in any part of the window below 1.7 metre above floor level. ▪ Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent. 	<p>The proposed units will not cause overlooking. There are existing fences along the boundaries which should mitigate any potential overlooking.</p> <p>Complies</p>
	<p>Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.</p>	<p>N/A</p>
	<p>Screens used to obscure a view should be:</p> <ul style="list-style-type: none"> ▪ Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels. ▪ Permanent, fixed and durable. ▪ Designed and coloured to blend in with the development. <p>This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.</p>	<p>N/A</p>

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B23 Internal Views To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.	Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.	N/A
B24 Noise Impacts To contain noise sources in developments that may affect existing dwellings. To protect residents from external noise.	Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings. Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties. Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.	Complies Complies N/A

On-Site Amenity and Facilities

Clause 55.05-1 to 05-6

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B25 Accessibility To encourage the consideration of the needs of people with limited mobility in the design of developments.	The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.	There are no steps into or out of the dwellings Complies
B26 Dwelling Entry To provide each dwelling or residential building with its own sense of identity.	Entries to dwellings and residential buildings should: <ul style="list-style-type: none"> ▪ Be visible and easily identifiable from streets and other public areas. ▪ Provide shelter, a sense of personal address and a transitional space around the entry. 	Both proposed dwellings contain front porches giving them their own entrances and providing shelter.

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p>B27 Daylight to New Windows To allow adequate daylight into new habitable room windows.</p>	<p>A window in a habitable room should be located to face:</p> <ul style="list-style-type: none"> ▪ An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or ▪ A verandah provided it is open for at least one third of its perimeter, or ▪ A carport provided it has two or more open sides and is open for at least one third of its perimeter. 	<p>Complies</p>
<p>B28 Private Open Space To provide adequate private open space for the reasonable recreation and service needs of residents.</p>	<p>A dwelling or residential building should have private open space of an area and dimensions specified in a schedule to the zone.</p> <p>If no area or dimensions are specified in a schedule to the zone, a dwelling or residential building should have private open space consisting of:</p> <ul style="list-style-type: none"> ▪ An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or ▪ A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or ▪ A roof-top area of 10 square metres, minimum width of 2 metres and convenient access from a living room. 	<p>Both dwellings have a minimum area of 40sqm and a minimum dimension of 3m.</p> <p>Complies</p>

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p>B29 Solar Access to Open Space To allow solar access into the secluded private open space of new dwellings and residential buildings.</p>	<p>The private open space should be located on the north side of the dwelling or residential building, if appropriate.</p>	<p>The private open space is located on the south eastern side of the properties due to the orientation of the lots. There should be adequate solar access.</p> <p>Variation required</p>
	<p>The southern boundary of secluded private open space should be set back from any wall on the north of the space at least $(2+0.9h)$ metres, where 'h' is the height of the wall.</p>	<p>Complies</p>
<p>B30 Storage To provide adequate storage facilities for each dwelling.</p>	<p>Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.</p>	<p>Each dwelling has been provided with individual storage areas of 6 cubic meters.</p> <p>Complies</p>

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p>B31 Design Detail To encourage design detail that respects the existing or preferred neighbourhood character.</p>	<p>The design of buildings, including:</p> <ul style="list-style-type: none"> ▪ Facade articulation and detailing, ▪ Window and door proportions, ▪ Roof form, and ▪ Verandahs, eaves and parapets, ▪ Should respect the existing or preferred neighbourhood character. 	<p>There is no clear neighbourhood character in this area of Euroa as there is a variety of design styles and ages. Therefore the proposed development respects the character.</p> <p>The façades feature brick material, a pitch roof, porch and double garage, which is not considered unusual in this area.</p> <p>Complies</p>
	<p>Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.</p>	<p>Complies</p>
<p>B32 Front Fences To encourage front fence design that respects the existing or preferred neighbourhood character.</p>	<p>The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties.</p> <p>A front fence within 3 metres of a street should not exceed:</p> <p>The maximum height specified in a schedule to the zone, or</p> <p>If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B3;</p> <ul style="list-style-type: none"> ▪ 2m if abutting a Road Zone, Category 1. ▪ 1.5m in any other streets. 	<p>There are no front fences proposed.</p> <p>N/A</p>

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p>B33 Common Property To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.</p> <p>To avoid future management difficulties in areas of common ownership.</p>	<p>Developments should clearly delineate public, communal and private areas.</p>	<p>There is no common property proposed.</p> <p>N/A</p>
	<p>Common property, where provided, should be functional and capable of efficient management.</p>	<p>N/A</p>
<p>B34 Site Services To ensure that site services can be installed and easily maintained.</p> <p>To ensure that site facilities are accessible, adequate and attractive.</p>	<p>The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically.</p>	<p>There are no easements existing on the site.</p> <p>Complies</p>
	<p>Bin and recycling enclosures, mailboxes and other site facilities should be accessible, adequate in size, durable, waterproof and blend in with the development.</p>	<p>Will comply.</p>
	<p>Mailboxes should be provided and located for convenient access as required by Australia Post.</p>	<p>Will be provided.</p>

Clause 32.08-4- Garden Area Requirement

35% is the minimum percentage garden area required for the total lot. The proposal satisfies this requirement as approximately 62% of the total site is proposed as garden area.